



**BOARD OF COUNTY COMMISSIONERS
WARREN COUNTY, OHIO**

406 Justice Drive, Lebanon, Ohio 45036

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commissioners@co.warren.oh.us

Telephone (513) 695-1250

Facsimile (513) 695-2054

**TOM GROSSMANN
SHANNON JONES
DAVID G. YOUNG**

BOARD OF COUNTY COMMISSIONERS
WARREN COUNTY, OHIO

MINUTES: Regular Session – August 24, 2023

This is a summary of actions and discussions of the meeting. You may view this meeting through our YouTube Channel at <https://www.youtube.com/channel/UC1ELh0jGpXd4VV2DTgsugPA> or by contacting our office.

The Board met in regular session pursuant to adjournment of the August 15, 2023, meeting.

Shannon Jones – present

Tom Grossmann – absent

David G. Young – present

Tina Osborne, Clerk – present

Minutes of the August 15, 2023, meeting were read and approved.

- 23-1062 A resolution was adopted to hire Heather Glardon as Eligibility Referral Specialist I, within the Warren County Department of Job and Family Services, Human Services Division. Vote: Unanimous
- 23-1063 A resolution was adopted to approve end of 365- day probationary period and approve a pay increase for Faith Stone within the Warren County Office of Management and Budget. Vote: Unanimous
- 23-1064 A resolution was adopted to approve end of 365- day probationary period and approve a pay increase for Jennifer Guthrie within the Warren County Water and Sewer Department. Vote: Unanimous
- 23-1065 A resolution was adopted to accept resignation of Lyndsey Stump, Emergency Communications Operator, within the Warren County Emergency Services Department, effective August 9, 2023. Vote: Unanimous
- 23-1066 A resolution was adopted to authorize posting of the “Assistant Business Manager” position within the Warren County Job and Family Services, Human Services Division, in accordance with Warren County Personnel Policy Manual, Section 2.02 (A). Vote: Unanimous

- 23-1067 A resolution was adopted to approve leave donation for Kayelee Carman, Investigative Caseworker II, within Warren County Job and Family Services, Children Services Division. Vote: Unanimous
- 23-1068 A resolution was adopted to designate extended illness leave for Kayelee Carman within the Department of Job and Family Services, Children Services Division. Vote: Unanimous
- 23-1069 A resolution was adopted to authorize posting for Service Worker I position, within the Facilities Management Department, in accordance with Warren County Personnel Policy Manual, Section 2.02 (A). Vote: Unanimous
- 23-1070 A resolution was adopted to approve promotion of Blake Pottorf to the position of Grounds Foreman within the Facilities Management Department. Vote: Unanimous
- 23-1071 A resolution was adopted to approve notice of intent to award bid to Insituform Technologies, LLC for the Waynesville Sewer Collection Systems Improvements Phase 3 Project. Vote: Unanimous
- 23-1072 A resolution was adopted to enter into contract with John R. Jurgensen for the FY23 City of Franklin – Mackinaw Paving CDBG Paving Project. Vote: Unanimous
- 23-1073 A resolution was adopted to approve and authorize the President of the Board to enter into an agreement with the City of Franklin relative to the FY23 Franklin – Mackinaw Paving Community Development Block Grant Project. Vote: Unanimous
- 23-1074 A resolution was adopted to approve addenda to agreement with Step Higher Inc.- Nella's Place relative to home placement and related services on behalf of Warren County Children Services. Vote: Unanimous
- 23-1075 A resolution was adopted to approve agreements and addendums with various providers relative to home placement and related services on behalf of Warren County Children Services. Vote: Unanimous
- 23-1076 A resolution was adopted to enter into a youth worksite agreement on behalf of OhioMeansJobs Warren County. Vote: Unanimous
- 23-1077 A resolution was adopted to authorize the Water and Sewer Department to participate in the Warren County Transportation District Wilkens/ Barder Roundabout Project (PID 114606) and provide reimbursement for water and sewer improvements. Vote: Unanimous

- 23-1078 A resolution was adopted to authorize the Water and sewer Department to participate in the Warren County Transportation District Columbia Road and Davis Road Intersection Improvements Project and provide reimbursement for water and sewer improvements. Vote: Unanimous
- 23-1079 A resolution was adopted to transfer vehicle equipment no longer being utilized by the Warren County Sheriff's Office to the Warren County Career Center. Vote: Unanimous
- 23-1080 A resolution was adopted to enter into a cooperation agreement with Deerfield regional Stormwater District. Vote: Unanimous
- 23-1081 A resolution was adopted to authorize acceptance of renewal quote from Vertiv Corporation on behalf of Warren County Telecommunications. Vote: Unanimous
- 23-1082 A resolution was adopted to authorize acceptance of sales order for circuit and fiber upgrades from Crown Castle Fiber, LLC on behalf of Warren County Telecommunications. Vote: Unanimous
- 23-1083 A resolution was adopted to authorize acceptance of quote from Cincinnati Bell Telephone Co. LLC DBA Altafiber on behalf of Warren County Telecommunications. Vote: Unanimous
- 23-1084 A resolution was adopted to authorize acceptance of quote from Secure Cyber Defense on behalf of Warren County Telecommunications for support. Vote: Unanimous
- 23-1085 A resolution was adopted to authorize acceptance of quote from Business Communications Specialists on behalf of Warren County Telecommunications for support. Vote: Unanimous
- 23-1086 A resolution was adopted to declare various items from Board of Developmental Disabilities, Common Pleas Court, Facilities Management, and Telecom as surplus and authorize the disposal of said items through internet auction. Vote: Unanimous
- 23-1087 A resolution was adopted to acknowledge approval of financial transactions. Vote: Unanimous
- 23-1088 A resolution was adopted to acknowledge payment of bills. Vote: Unanimous
- 23-1089 A resolution was adopted to approve various record plats. Vote: Unanimous
- 23-1090 A resolution was adopted to approve operational transfers of interest earnings from Commissioners' Fund #11011112 into Water Funds #5510, #5583, Sewer Funds #5580, and #5575. Vote: Unanimous

- 23-1091 A resolution was adopted to approve supplemental appropriation into the Auditor's Real Estate Fund #2237. Vote: Unanimous
- 23-1092 A resolution was adopted to approve appropriation adjustment from Commissioners' General Fund #11011110 into Sheriff's Office Fund #11012210. Vote: Unanimous
- 23-1093 A resolution was adopted to approve appropriation adjustment from Commissioners' General Fund #11011110 into Juvenile Detention Center Fund #11012600. Vote: Unanimous
- 23-1094 A resolution was adopted to approve appropriation adjustment within Commissioners' General Fund #11011110. Vote: Unanimous
- 23-1095 A resolution was adopted to approve appropriation adjustments within Sheriff's Office Funds #11012200 and #11012210. Vote: Unanimous
- 23-1096 A resolution was adopted to approve an appropriation adjustment within Workforce Investment Board Fund #2238. Vote: Unanimous
- 23-1097 A resolution was adopted to approve appropriation adjustment within County Construction Projects Fund #4467. Vote: Unanimous
- 23-1098 A resolution was adopted to approve appropriation adjustment within Health Insurance Fund #6632. Vote: Unanimous
- 23-1099 A resolution was adopted to approve appropriation adjustment within Health Insurance Fund #6632. Vote: Unanimous
- 23-1100 A resolution was adopted to approve requisitions and authorize County Administrator to sign documents relative thereto. Vote: Unanimous
- 23-1101 A resolution was adopted to authorize County Prosecutor to file joint application with the Court of Common Pleas for the employment of legal counsel relative to any matters of public business coming before the Board of Commissioners, the Prosecuting Attorney, or any other County Officer concerning the Mental Health Recovery Board serving Warren & Clinton Counties. Vote: Unanimous
- 23-1102 A resolution was adopted to approve annexation of 12.807 acres to the City of Lebanon, Mark Florence, Agent, pursuant to Ohio Revised Code Section 709.022 [A.K.A. Expedited Type 1 Annexation]. Vote: Unanimous
- 23-1103 A resolution was adopted to continue administrative hearing to consider site plan review application of Shaker Woods in Turtlecreek Township. Vote: Unanimous

DISCUSSIONS

On motion, upon unanimous call of the roll, the Board accepted and approved the consent agenda.

On motion, upon unanimous call of the roll, the Board entered executive session at 4:34 p.m. to discuss union negotiations within the Engineer's Office pursuant to Ohio Revised Code Section 121.22 (G)(4), pending litigation with legal counsel present pursuant to Ohio Revised Code Section 121.22 (G)(3) and matters to be kept confidential per state law pursuant to Ohio Revised Code 121.22 (G)(5) (ORC 4123.88 related to Workers Compensation Claims) and exited at 5:48 p.m.

ADMINISTRATIVE HEARING
CONTINUATION OF THE SITE PLAN REVIEW APPLICATION OF
SHAKER WOODS IN TURTLECREEK TOWNSHIP

The Board met this 24th day of September 2023, for the continuation of the administrative hearing to consider the site plan review application of Shaker Woods in Turtlecreek Township.

Michelle Tegtmeier, Director of Building and Zoning Department, presented the attached PowerPoint reviewing the property size, location, zoning and proposed development plan. She stated that the applicant desires to develop 73 single family units, requesting a waiver for the side yard setback, constructed in compliance with the MXU-C Standards and the Warren County Rural Zoning Code.

Hadil Lababidi, Warren County Regional Planning Commission, reviewed the comments from departments and officials and presented a density analysis on developments along Greentree Road as well as access to and from major roadways.

Bruce McGary, Assistant Prosecutor, explained the modifications made to the PowerPoint presentation since the last hearing which he made pursuant to reviewing the video of the last hearing.

Richard Paolo, attorney for the applicant, stated that the head of land development for the applicant could not be here this evening and requested the Board continue this hearing.

Commissioner Jones opened the hearing to those desiring to give testimony.

Christine Pudvan, 1250 Ironwood Drive Lebanon, requested clarification on access.

Commissioner Jones and Mr. McGary reviewed the issues for consideration with Mr. McGary instructing the Board that they can approve, approve with conditions, or deny this application based upon the review criteria stated in the Warren County Rural Zoning Code.

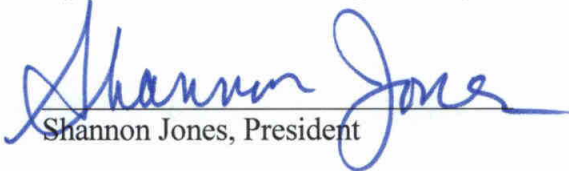
Phil Garver, 1367 Barton Lane Lebanon, stated his opinion that this application does not meet the required criteria for approval.


Upon further discussion, the Board resolved (Resolution #23-1103) to continue administrative hearing to consider site plan review application of Shaker Woods in Turtlecreek Township to September 26, 2023, at 10:00 a.m.

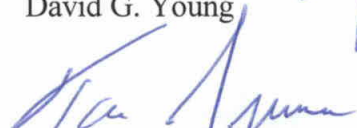
Tiffany Zindel, County Administrator, stated that the statements of qualifications for design build services that are currently being reviewed include design services for the SWAT garage, gun range and Drug Task Force. She requested clarification that the Board is in agreement with all three to be designed.

Commissioner Jones stated for the record that she is not committed to the Drug Task Force project but agrees to proceed with the request for qualifications.


Upon motion the meeting was adjourned.


Shannon Jones, President


David G. Young


Tom Grossmann

I hereby certify that the foregoing is a true and correct copy of the minutes of the meeting of the Board of County Commissioners held on August 24, 2023, in compliance with Section 121.22 O.R.C.


Tina Osborne, Clerk
Board of County Commissioners
Warren County, Ohio

CASE # 101-2023
Site Plan Review- Shaker Woods

EXHIBIT "PP"

APPLICANT/OWNER/AGENT

The Drees Company, PAP Oil Company, LLC.

TOWNSHIP

Turtlecreek

PROPERTY INFORMATION

ADDRESS

Broadmoor Lane Road

PIN

08-31-300-014

EXISTING ACREAGE

208.0348 Acres

PROPOSED PROPERTY SIZE FOR SITE PLAN REVIEW

30.47 +/- Acres (not divided yet), 50' of frontage

CURRENT ZONING DISTRICT	MXU-C
FUTURE LAND USE MAP (FLUM) DESIGNATION	Turtlecreek- Single Family Residential
EXISTING LAND USE	Agricultural
SITE PLAN REQUESTED	Development of 73 single-family units.
ISSUE(S) FOR CONSIDERATION	<ol style="list-style-type: none">1. Proposed Waiver of ONE Development Standard - side yard setback. (ZC 2.407.6(D) & 2.407.7-See Slide #14)2. Site Plan Review (ZC 1.303) See Slide #18.

Review Process

Site Plan

**Board of County
Commissioners**

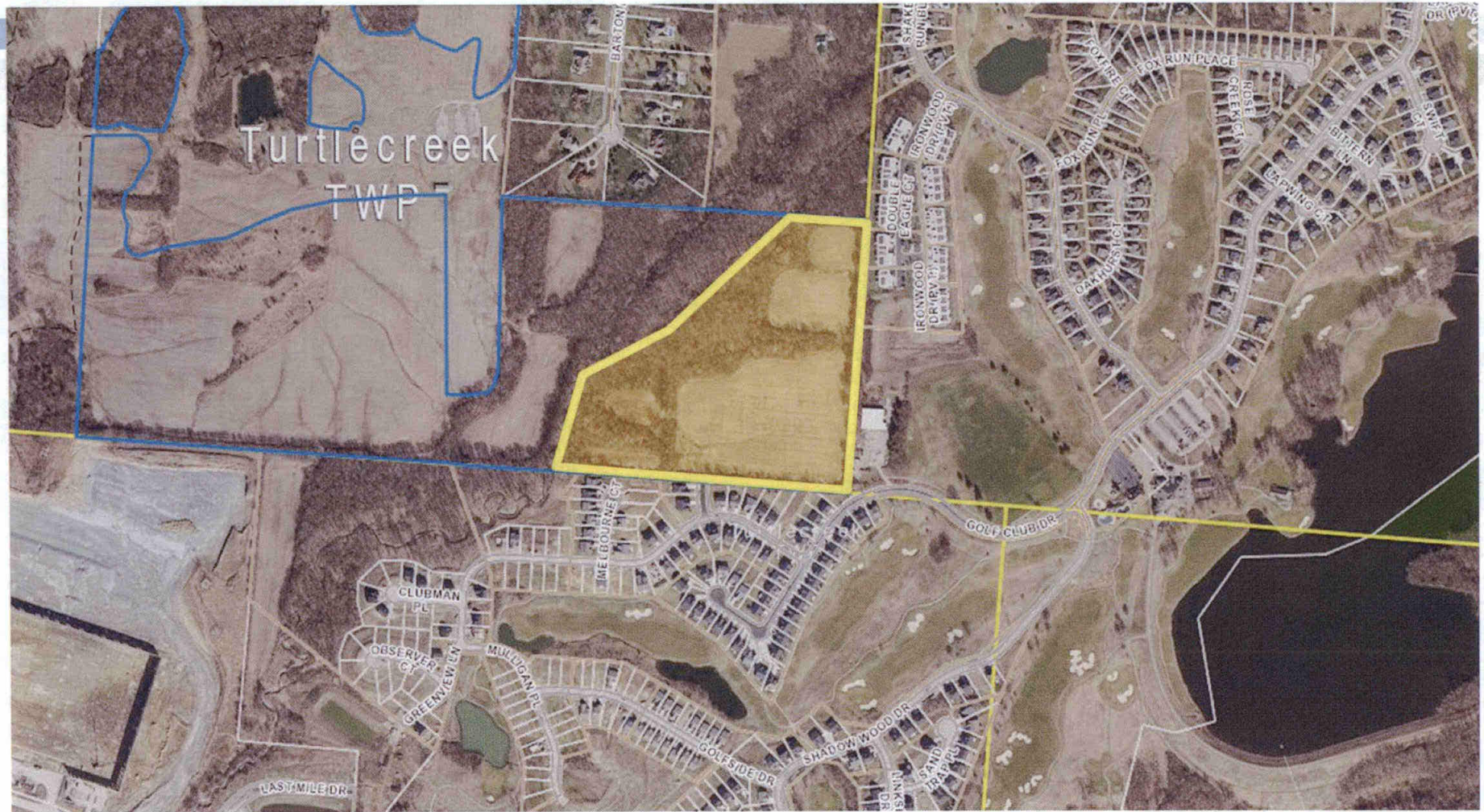
August 8, 2023

Preliminary Plan

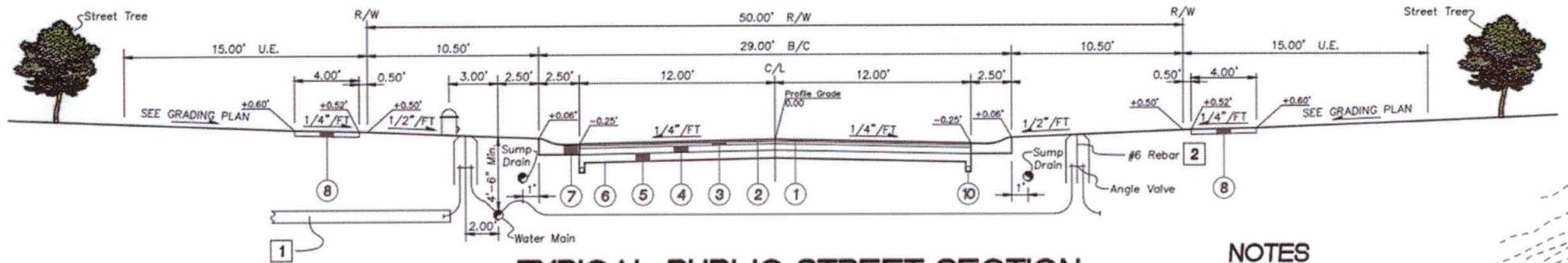
**Regional Planning
Commission**

Aerial Map

102-2021



Public Street Section



TYPICAL PUBLIC STREET SECTION

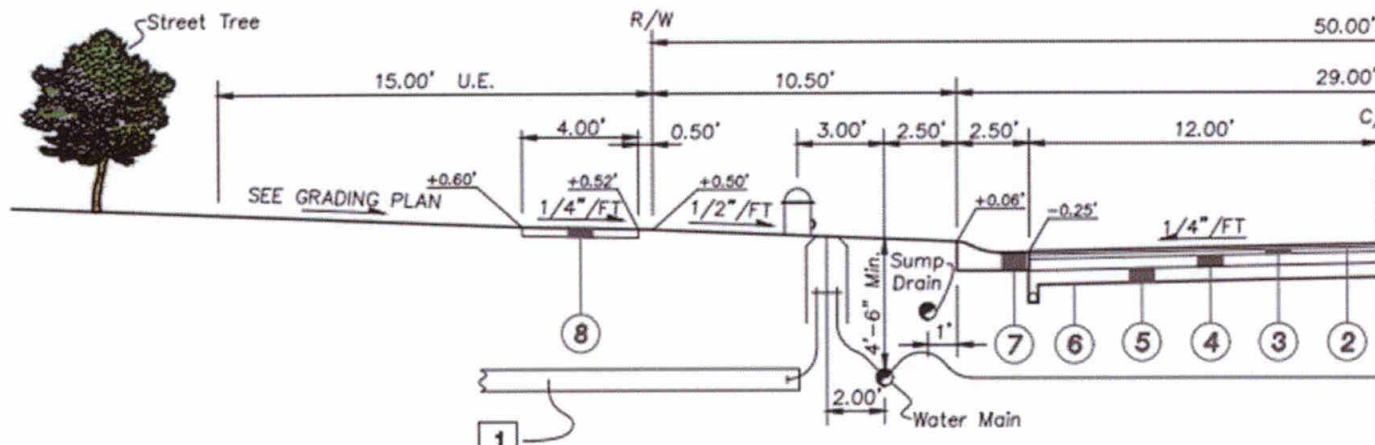
NOT TO SCALE

NOTES

- 1 Plastic tubing shall be 20'± long & extend (min of 12" into the lots) to clear telephone & electric easements (On electric side only)
- 2 #6 Rebar - Contractor shall install #6 Rebar 5' long vertically at angle valves

LEGEND

- 1 Item 448-(1 1/2") Asphalt Concrete, Surface Course, Type 1
- 2 Tack Coat MS-2, RS-1, or RC-250
- 3 Item 448-(2") Asphalt Concrete, Intermediate Course, Type 1
- 4 Item 301-(5") Bituminous Aggregate Base
- 5 Item 304-(6") Aggregate Base
- 6 Item 203 Subgrade Compaction
- 7 Type "C" Curb & Gutter (Warren County Standard)
- 8 Concrete Walk - 4" thick concrete sidewalk, widths as shown, Item 605, to be 1/2" higher than finished grade.
- 9 Item 301-(4") Bituminous Aggregate Base
- 10 Item 605-4" Underdrain invert 22" below edge of pavement



Site



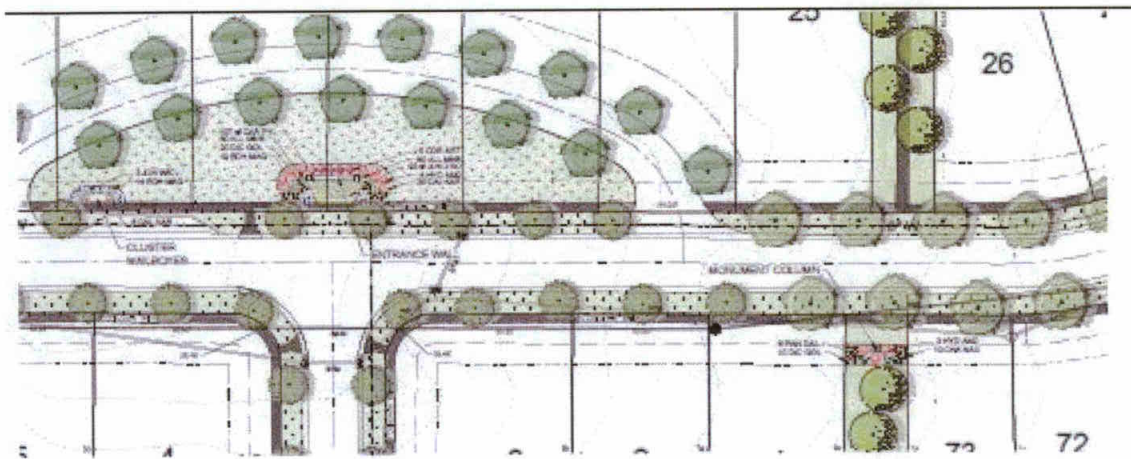
Landscaping

REFERENCE NOTES SCHEDULE

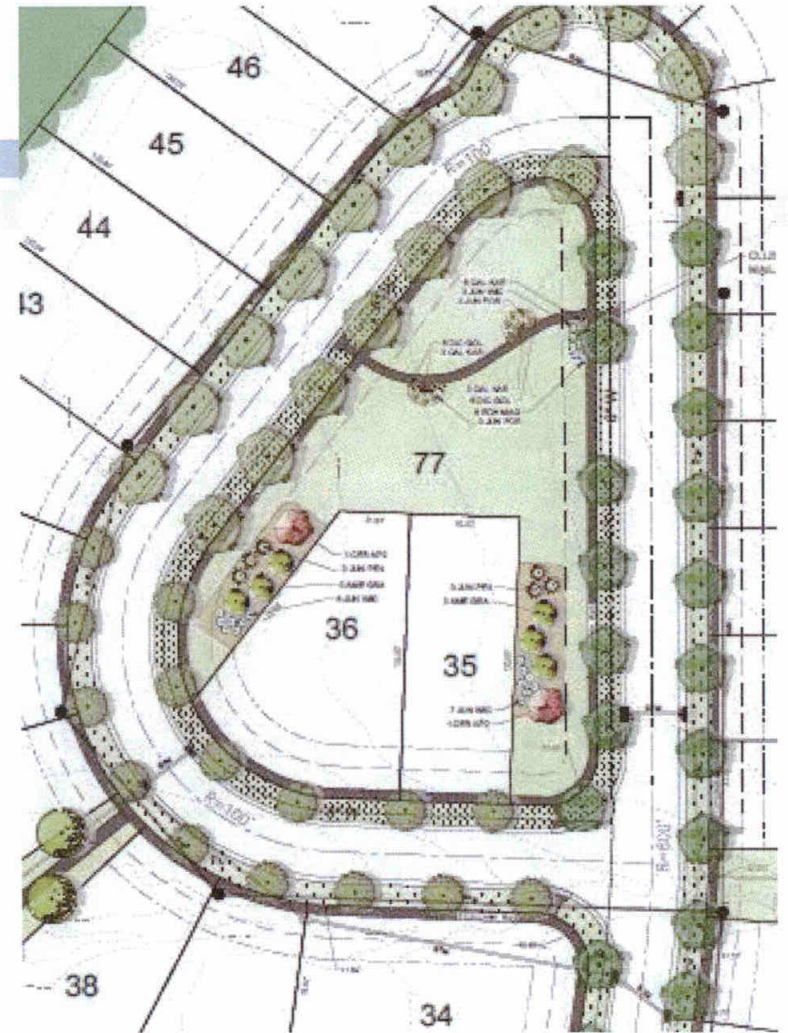
SYMBOL	DESCRIPTION	QTY
	LAWN	68,848 sf
	EXISTING VEGETATION	359,932 sf
	RETENTION POND	32,875 sf
	MULCH	4,999 sf



Landscaping cont.

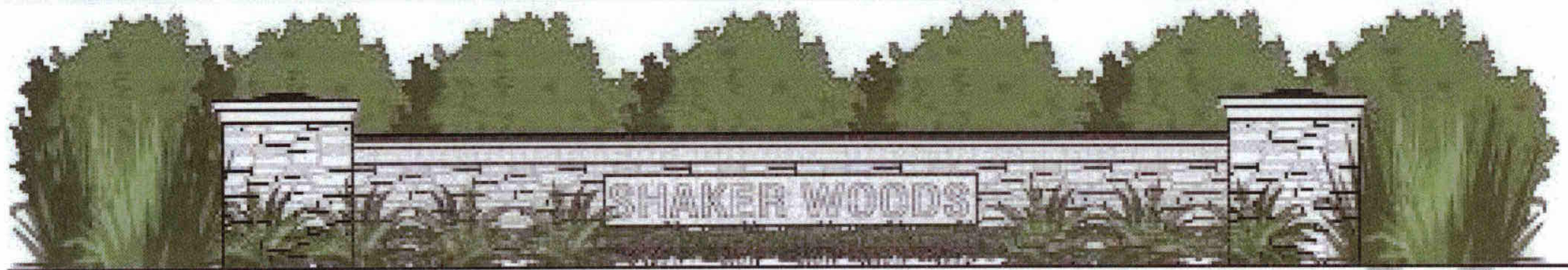


Planting Plan - Entrance



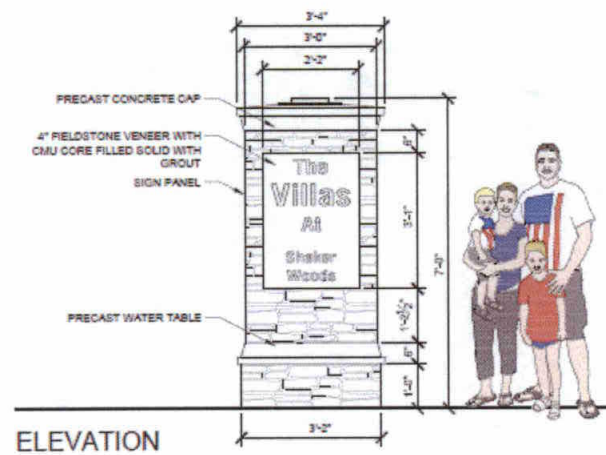
Planting Plan - Community Park

Signage



5 ELEVATION - ENTRY WALL
10' x 10'

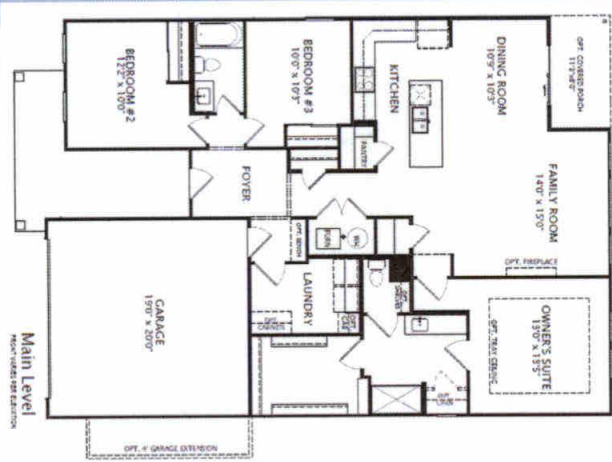
R. COBBINS



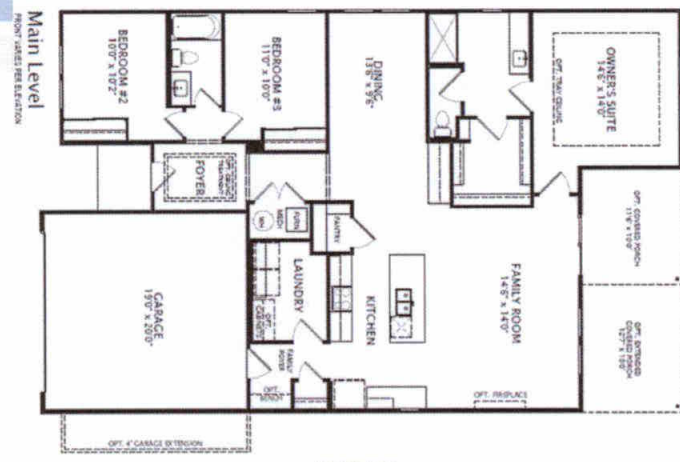
Patio Home – 50' Wide Lots

- **Home:** Approximately 1,530 SF – 1,860 SF
- Upgraded materials on front and High Impact façade (Stone, Brick, or Hardboard siding)
- Typically marketed toward Empty Nest buyer or those looking to downsize.
- Low-maintenance living – lawn mowing and snow pushing included through the HOA.
- **Patio homes have standard features that make them more adaptable to those with mobility issues.**
 - Slab construction with single story home plans (easier to make zero threshold)
 - Primary door widths are wider.
 - Options to add features to enhance adaptability (i.e., Grab Bars, Lever handles, etc.)

Patio Home



DUHUCI
New from the Architect



ENCIVARY
New from the Architect



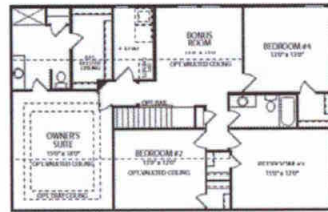
Single Family – 65' Wide Lots

- **Home:** Approximately 1,870 SF – 3,100 SF
- Upgraded materials on front and High Impact façade (Stone, Brick, or Hardboard siding)
- Typically marketed to families / move up buyer looking for large homes.
- Self-maintained lots
- Full Basements with option to finish.
- Mixture of Single Story and Two-Story floor plans

Single Family Homes



Main Level

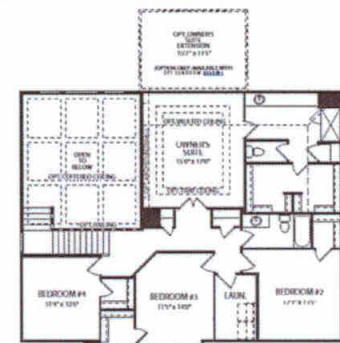


Second Level

Quentin



Main Level



Second Level

Buchanan

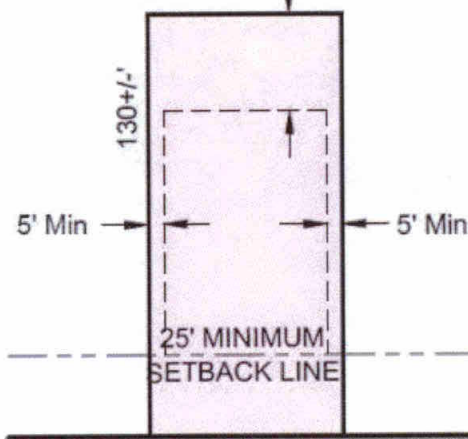


Typical Lot Layout & Design

PATIO HOME

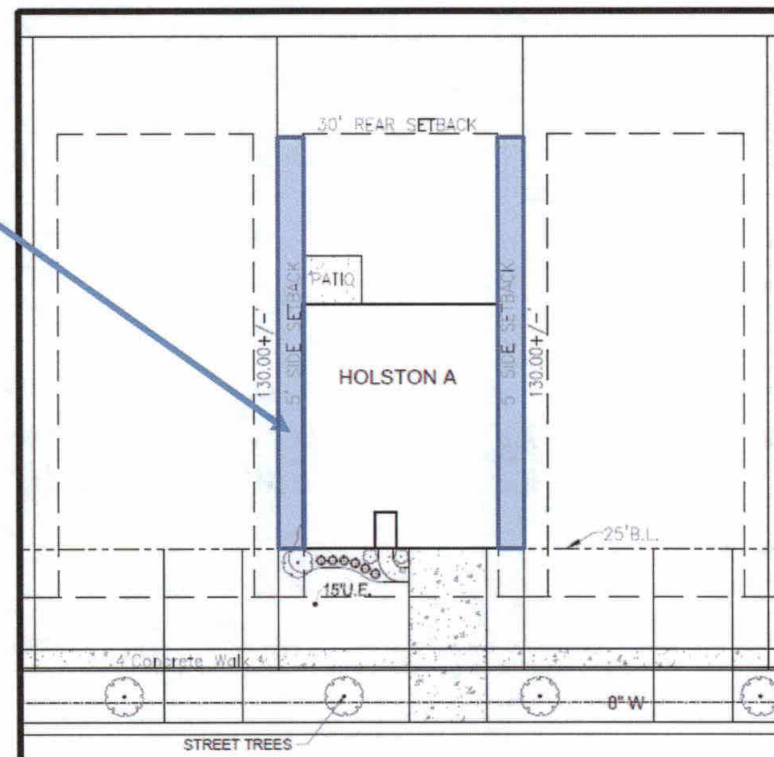
6,500 S.F.(Min.)/0.149 Ac.(Min.)
Lot Frontage = 50'(Min.)*
Lot Width @ Front Setback = 50'(Min.)
Max Building Height = 35ft

30' MINIMUM
REAR YARD SETBACK



STREET

5' Setback



Typical Lot Design & Layout

SINGLE FAMILY

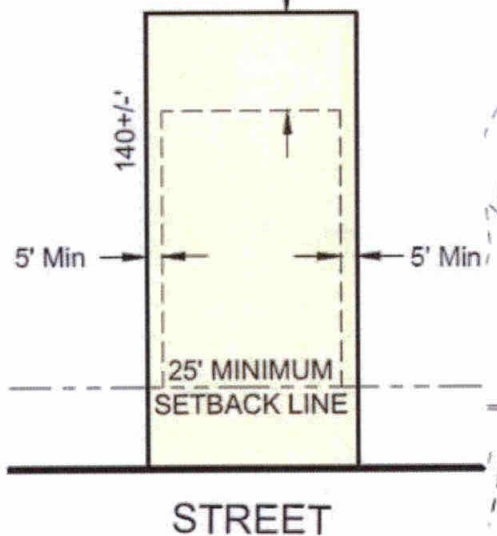
9,100 S.F.(Min.)/0.209 Ac.(Min.)

Lot Frontage = 65'(Min.)*

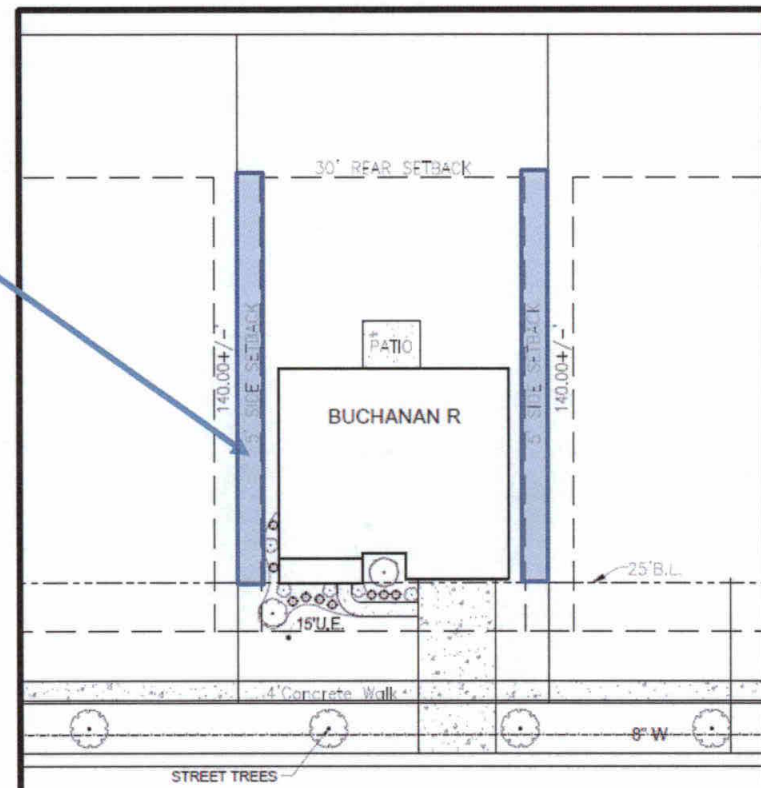
Lot Width @ Front Setback = 65'(Min.)

Max Building Height = 35ft

30' MINIMUM
REAR YARD SETBACK



5' Setback



Staff Summary

Location	Extending the stub street on Broadmoor in Shaker Run.
Parking	The required parking is 2 spaces per dwelling. All units will have driveway and garage parking.
Landscaping	Landscaping Plan complies with the requirements for street trees and around all signage.
Signage	The sign height, setback and square feet meets the requirements of the code.
Lighting	Residential lighting to be provided as in the rest of Shaker Run.
Service Structures	Each unit will have private trash service.

Site Plan Review Criteria – Section 1.303.6

The site plan review is conducted to determine anticipated impacts on the public health and safety, as well as the public convenience, comfort, prosperity, or general welfare, as applicable. The factors to be considered and weighed by the Approving Authority include but are not limited to the following, but no single factor controls in making a decision, nor must all of the factors support the decision:

(A) Adequacy of Information and Compliance with Zoning Code	(I) Exterior Lighting
(B) Design Layout Sufficiency and Sensitivity	(J) Signage
(C) Design Character, Operational Compatibility, and Coordination	(K) Public Service Impact including without limitation roadways, police, fire and EMS protection
(D) Preservation of Significant Features	(L) Stormwater Drainage Stormwater Management Plan
(E) Pedestrian Access and Circulation	(M) Soil Erosion and Sediment Control
(F) Vehicular Access and Circulation Streets	(N) Emergency Access and Service Facilities and Public Safety
(G) Parking and Loading	(O) Building Design
(H) Landscaping and Screening	(P) Compliance with Public Health and Safety

Waiver Request

The applicant is requesting a side yard setback of 5 feet instead of the required 15 feet.

2.407.6 Integrated Development:

- (D) **Waiver of Development Standards:** The applicant may submit a proposal for waiver or reduction of the development standard for a proposed integrated project. **The approval authority [BOCC] may approve a waiver of the general development requirements**, for lighting, parking, signage, **access**, landscaping and buffer, height, lot size and development, or additional development requirements only upon finding that:
- (1) The proposed development represents an innovative use of site design, site access, circulation, building design, orientation, or building materials/landscaping which will enhance the area;
 - (2) **The proposed development will not be injurious to the public health, safety, or general welfare of Warren County;**
 - (3) The strict application of the general development requirements will result in a development which is undesirable when compared with the proposed development;
 - (4) The proposed development is consistent with and compatible with other development located in the area; and
 - (5) The proposed development is consistent with the suggestions of the Comprehensive Plan.

Reviewing Departments

- Warren County Engineer
- Warren County Water and Sewer Department
- Warren County Soil and Water Conservation
- Warren County Regional Planning Commission
- Turtlecreek Township Trustees
- Turtlecreek Township Fire Department
- Warren County Combined Health District
- Warren County Building Department
- Warren County Sheriff

Department Comments – Turtlecreek Township

- Not in support of development due to safety concerns.
- Increased traffic volume without additional access point.
- Adding 73 SF homes to the existing high density.
- Increased traffic volume in a challenged infrastructure system.
- Township support requires an access point from Greentree Road.



MR. JAMES VANDEGRIFT
MR. DANIEL JONES
MR. JONATHAN SAMS
MS. AMANDA CHILDERS

TRUSTEE
TRUSTEE
TRUSTEE
FISCAL OFFICER

July 31, 2023

Warren County Zoning Department
Attn: Michelle Tegtmeier
406 Justice Drive
Lebanon, Ohio 45036

Re: Shaker Woods Site Plan

Dear Ms. Tegtmeier,

The Board of Trustees of Turtlecreek Township have reviewed the site plan for the Drees Company's proposed Shaker Woods single family residential development.

The Board of Trustees of Turtlecreek Township are not in support of this development due to safety service concerns and increased traffic volume without an additional access point. This development would be adding an additional 73 single family homes into the existing high-density development of Shaker Run. The addition of these homes without an access point off of Greentree Road creates a safety issue and an increased volume of traffic in an existing infrastructure system that is challenged.

The Board of Trustees of Turtlecreek Township have discussed with Drees Company that the township would require an access point off of Greentree Road to support this development.

Sincerely,

Daniel F. Jones
Chairman of the Board

DFJ/tb

Cc: File



670 North State Route 123
Lebanon, OH 45036



513.932.4902



info@turtlecreektownship.org

Lebanon City Schools

- Input & support for Drees Home proposed development at Shaker Run
- **Development over a 4–5-year period.** Helpful gradually increase the number of students over time.
- Appreciate plans to vary the homes between **single-family & patio**, which we hope will draw fewer school-aged children.
- Ensure that we have enough **space to** accommodate the need to **turn around a school bus** in the neighborhood without backing up.
- Consider a different layout that would eliminate the cul-de-sac & would extend the road to **make it a loop where turnarounds would not be necessary.**



Office of the Superintendent
160 Miller Road
Lebanon, Ohio 45036
513.934.5778

January 20, 2023

Warren County Regional Planning Commission and Turtlecreek Township Trustees:

This letter is to offer my input and support for Drees Home proposed development at Shaker Run off of Broadmoor Lane. I was approached recently by Mark Linger to discuss their proposed concept for patio homes and single family homes. Mark communicated their plan was to develop 25 single family homes and 45 patio homes in this development over a 4-5 year period. At the time of our meeting he indicated that their construction plan would include patio and single family homes in each phase, which was helpful for us to be able to gradually increase the number of students over time.

During this meeting I shared several concerns with Mr. Linger from the school perspective. Whenever new developments are planned we want to ensure that the developments fit within the current PUD and do not seek to increase the housing density already in place. It appears that their plan fits within the current mixed-use zoning and we appreciate their plan to vary the homes between single-family and patio, which we hope will draw fewer school-aged children. We also want to ensure that we have enough space to accommodate the need to turn around a school bus in the neighborhood without backing up. This is safer for pedestrians and for the bus operator because visibility is limited in these tight neighborhoods. Mr. Linger indicated that they would consider a different layout that would eliminate the cul-de-sac and would extend the road to make it a loop where turnarounds would not be necessary. I appreciated his willingness to work with us on this concern.

I am thankful for the opportunity to provide feedback before a project commences and I appreciate Mr. Linger's willingness to listen to our concerns. As a district we are not opposed to the growth taking place in our community, but we must be involved in the planning process. At this time, I have no further questions or concerns with the initial concept plan and would support them moving forward in the process with your review teams.

Sincerely,

Isaac W. SeEVERS
Superintendent

Butler County Water & Sewer

- Sewer service is available from Butler County.
- Sewer service is available from 8" gravity sewer main from two different locations.

CUSTOMER CARE

130 High Street
Hamilton, Ohio 45001

P: 513.887.3066
F: 513.785.5799

water.bc.ohio.us

COMMISSIONER
Donald L. Dixon

COMMISSIONER
Cindy Carpenter

COMMISSIONER
T.C. Rogers



September 08, 2022

Mark Linger
Drees Homes
211 Grandview Drive, Suite 100
Ft. Mitchell, KY 41017

Re: Sewer Availability for 5321 Greentree Rd; Parcel 83-12-000-130

Dear Mr. Linger:

Butler County Water & Sewer Department has sewer available for the proposed development of 71 Equivalent Residential Units on 30.47 Acres to be located at 5321 Greentree Rd.

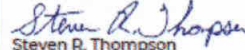
Sewer service is available from an existing 8-inch gravity sewer main located on Melbourne Court. Sewer service is also available from an 8-inch gravity sewer main located on Broadmoor Lane. These two sewer mains are designed to have sufficient capacity to serve this development.

The extension of the sewer system for this proposed development will require the approval of separate legislation by the Butler County Board of Commissioners.

If you have any questions, please call this office at 513-785-5288.

Sincerely,

BUTLER COUNTY WATER & SEWER DEPARTMENT


Steven R. Thompson
Senior Engineer

Cc: Martha Shelby, P.E., Director
Jeff Frechtling, P.E., Engineering and Construction Manager
File

v:\engineer\thompson\2022 letters\mark_linger - shaker run drainags shad sewer availability letter.doc

Department Comments (RPC)

1. Compliance with the standards of the Warren County Rural Zoning Code; Section 1.303.3.
2. At the preliminary plan submittal, the applicant shall submit an updated plan shows:
 - a. A cross-section for the private driveway.
 - b. An access easement to the retention basin.
3. The installation and provision of water utilities shall be to the satisfaction of the Warren County Water Department.
4. The installation and provision of the sanitary sewer system shall be to the satisfaction of the Butler County Sewer Department.

Department Comments (RPC)

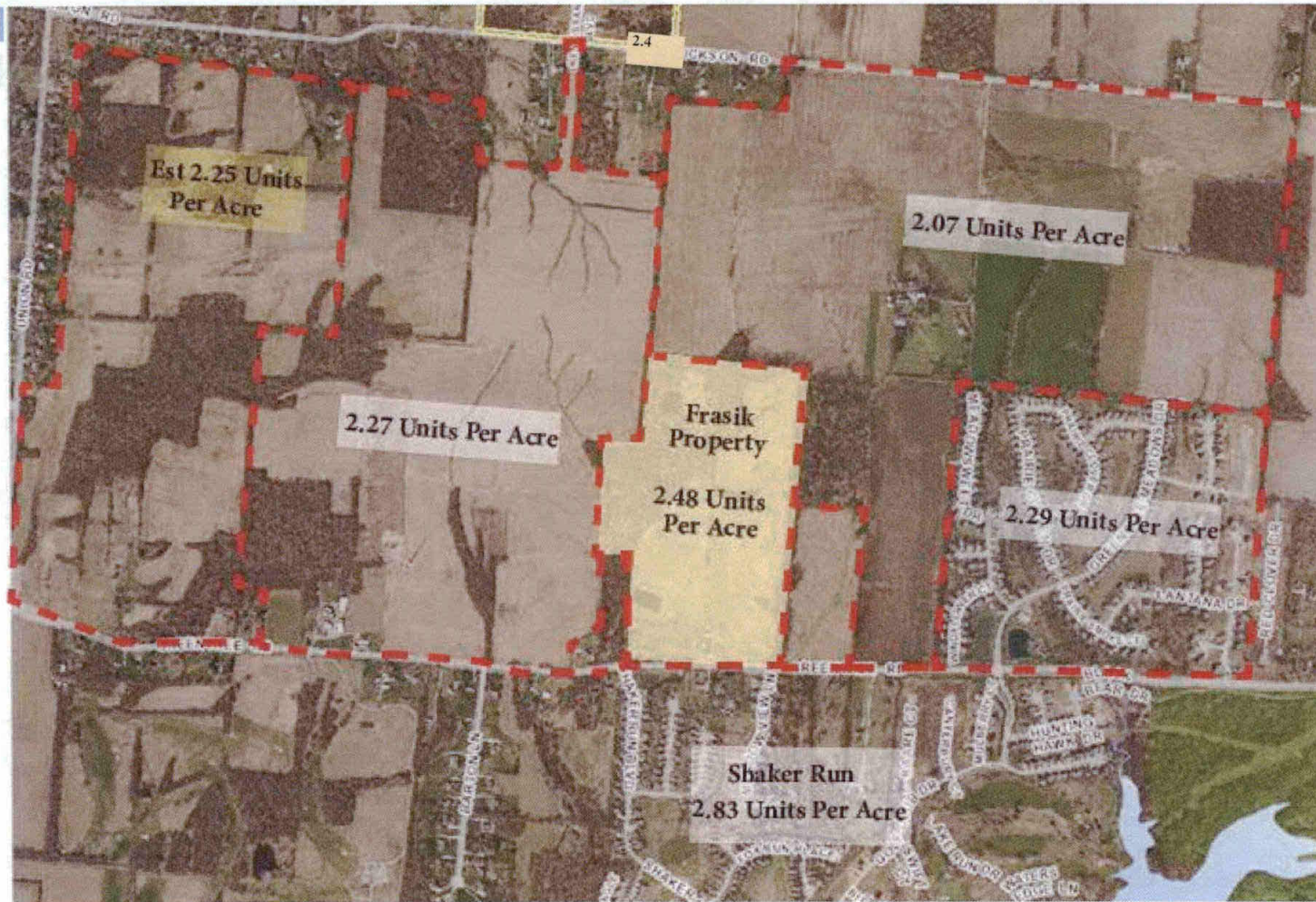
5. The trail and all open space amenities shall be constructed and completed at the time each phase is platted and shall be fully developed before the platting of 75% of the residential lots (55 lots).
6. The applicant shall receive approval of an Access Point Waiver Request at subdivision review and comply with the following:
 - A. A maximum of twenty-five (25) residential lots may be plated prior to the connection of Shaker Run Subdivision to Core 5 Industrial Park via Last Mile Drive.
7. The applicant shall receive approval of a variance from the required side yard setback.

ANY
QUESTIONS?

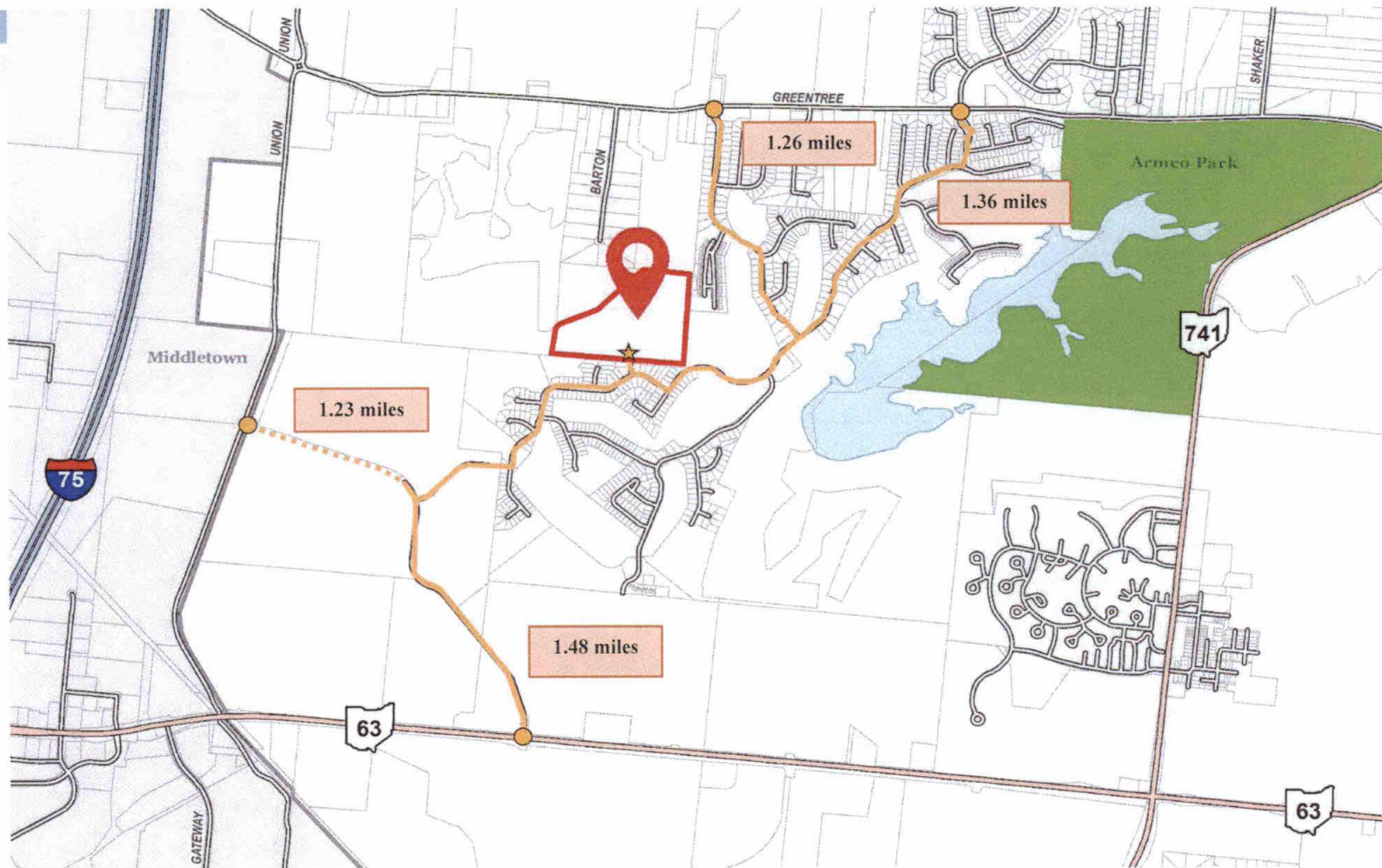


BACKUP SLIDES

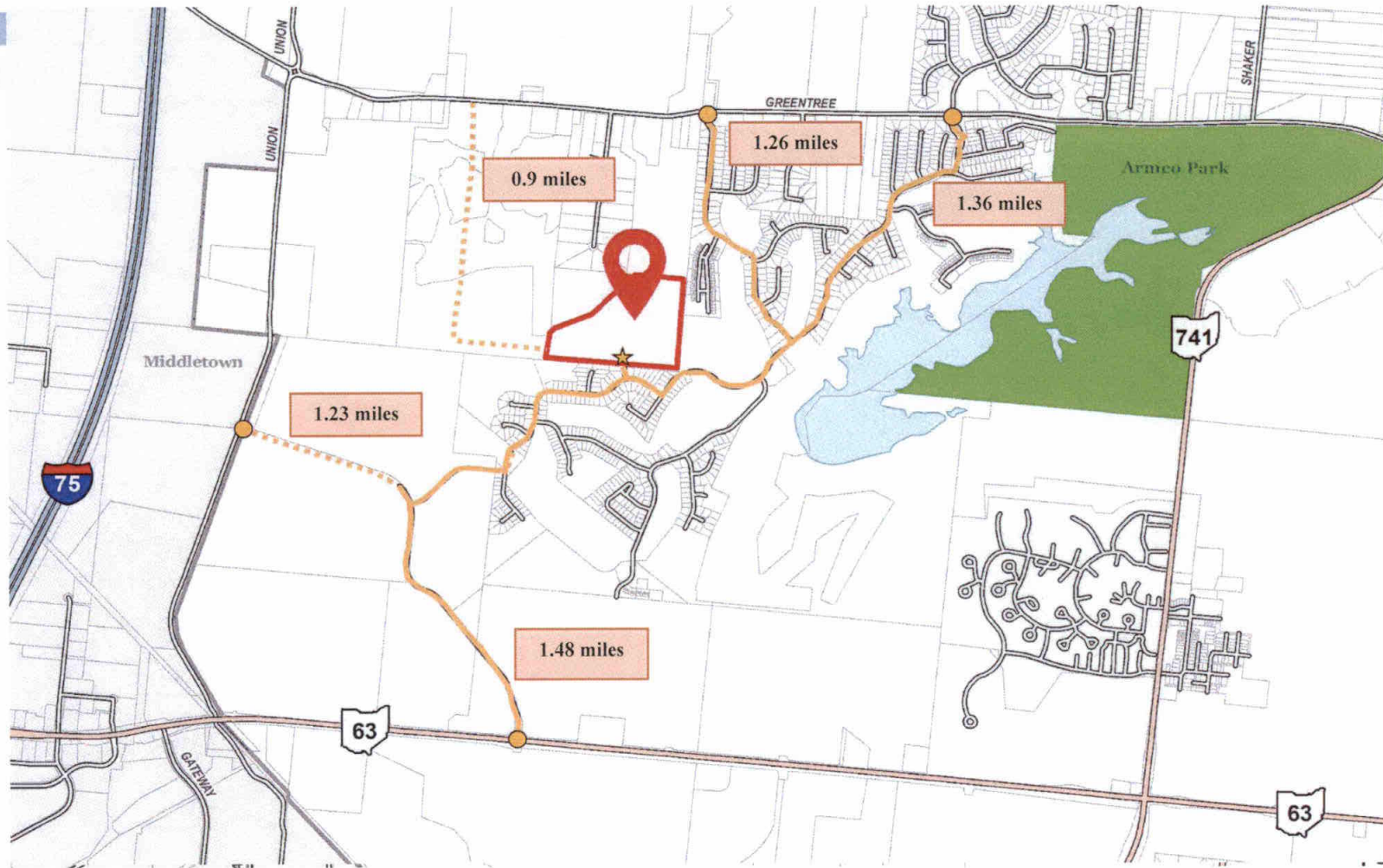
Density Analysis Along Greentree Road



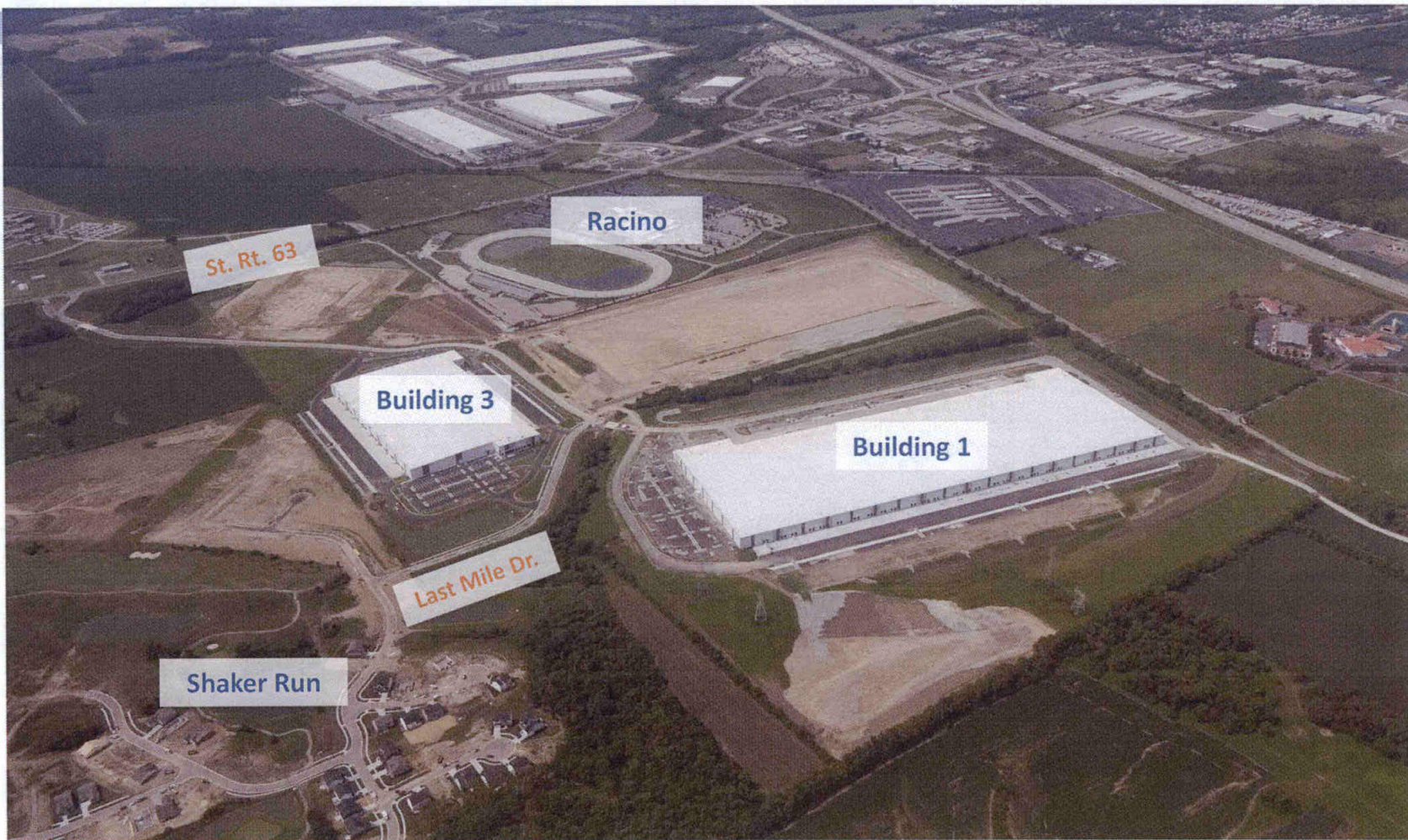
Access To & From Major Roads



Access To & From Major Roads



Access From Core 5



Access From Core 5

Shaker Woods

Shaker Run

Last Mile Dr.

Building 1



Access From Core 5 to Shaker Run

10. The stub street to the Shaker Run development shall be installed to the property line, prior to 75% of the lots being platted or developed. The stub street shall be improved with structural traffic control devices, as approved by the Warren County Engineer's Office, to prevent semi-truck traffic from accessing the Shaker Run residential development.

Resolution

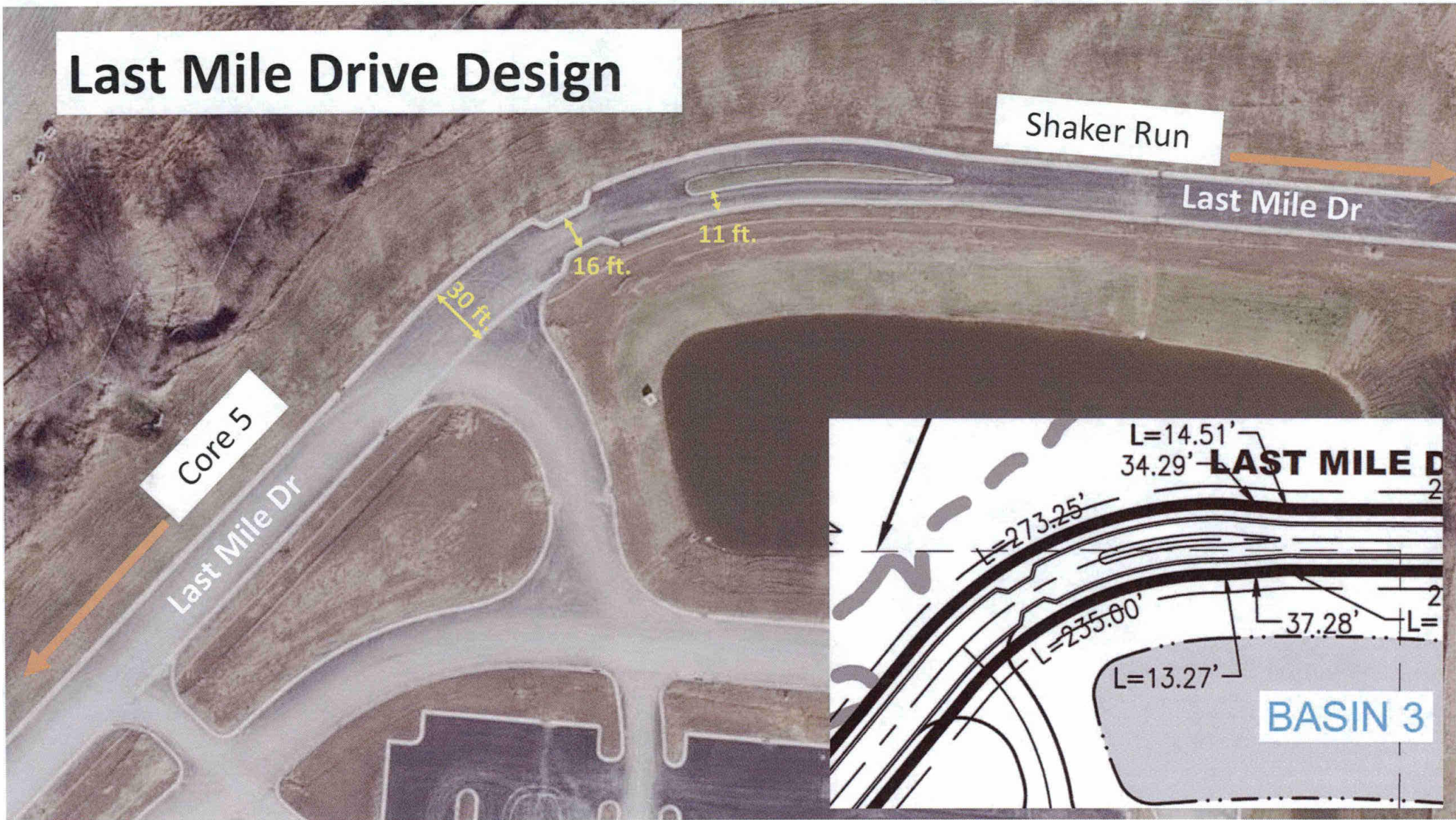
Number 20-1166

Adopted Date August 24, 2021

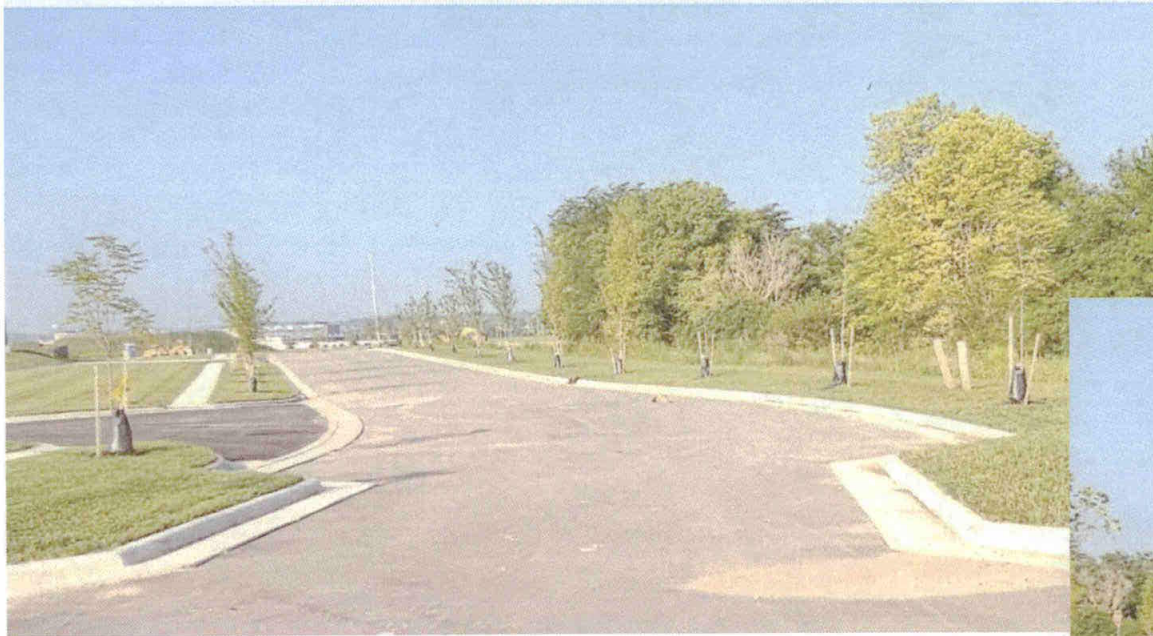
APPROVE PUD STAGE 2 FOR ODC WARREN COUNTY SURPLUS FARM (CORE 5 INDUSTRIAL PARTNERS, LLC APPLICANT) IN TURTLECREEK TOWNSHIP SUBJECT TO CONDITIONS

WHEREAS, this Board met this 24th day of August 2021, in the Commissioners' Meeting Room to consider the PUD Stage 2 for the ODC Warren County Surplus Farm (Core 5 Industrial Partners, LLC, Applicant) in Turtlecreek Township; and

Last Mile Drive Design



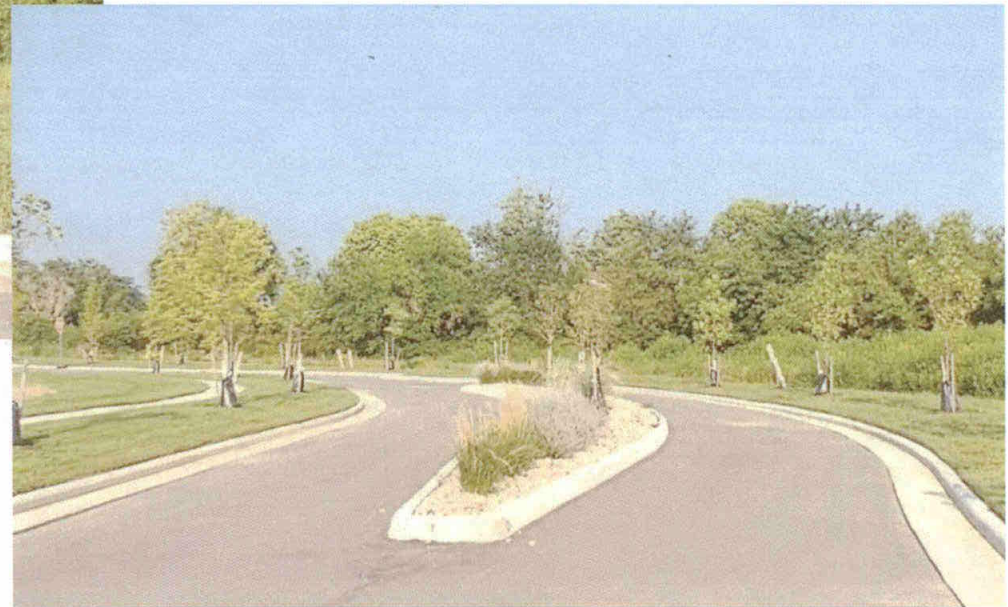
Last Mile Drive Design



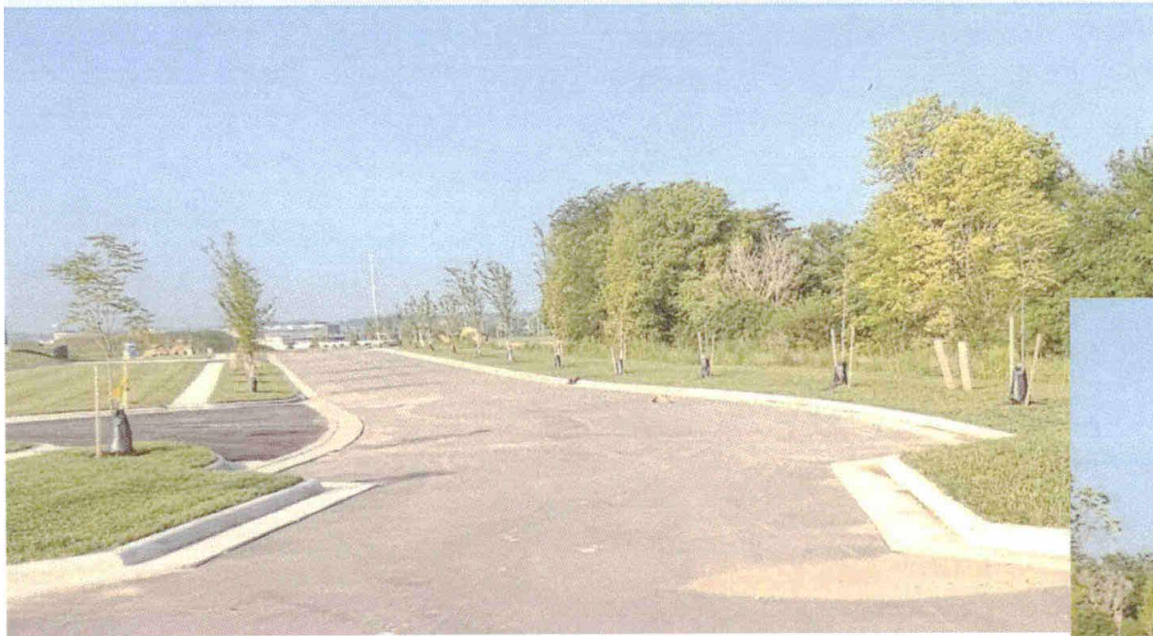
Changing Right-Of-Way Width

There are no overhead traffic control devices.

Road Median

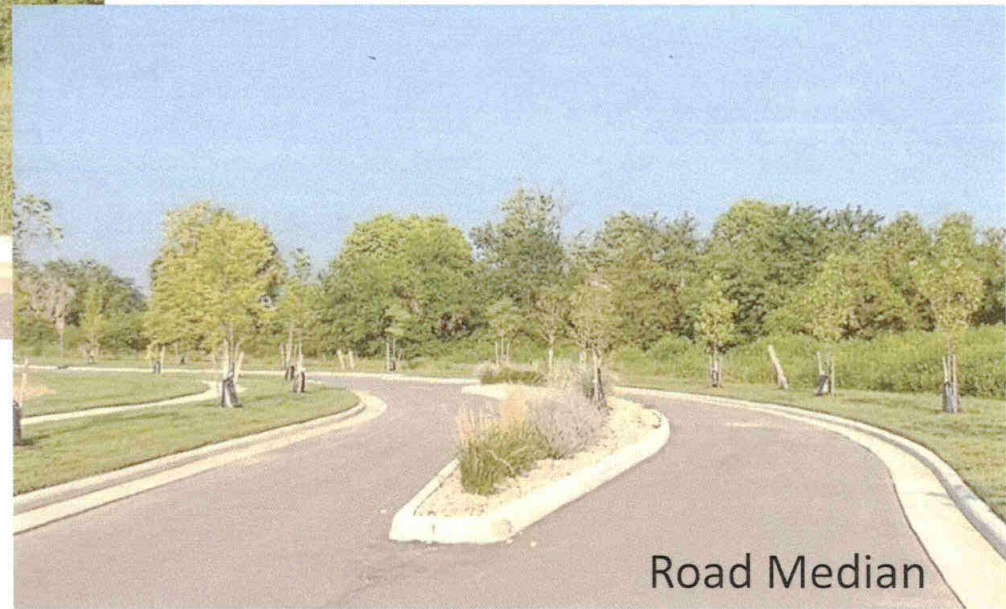


Last Mile Drive Design



Changing Right-Of-Way Width

Per Warren County Engineer's Office, Chief Deputy Kurt Weber, his office recommends that the barrier allowing access through Last Mile Drive not be removed until completion of the State Route 63 Road Improvement Project estimated by the end of year 2025.



Road Median

Shaker Run



AREA MAP
1"=500 FT

NOW THEREFORE BE IT RESOLVED, to approve a modification of the rezoning application to rezone approximately 13 acres from Rural Residence R-1 PUD to Rural Residence R-1 PUD subject to the following conditions:

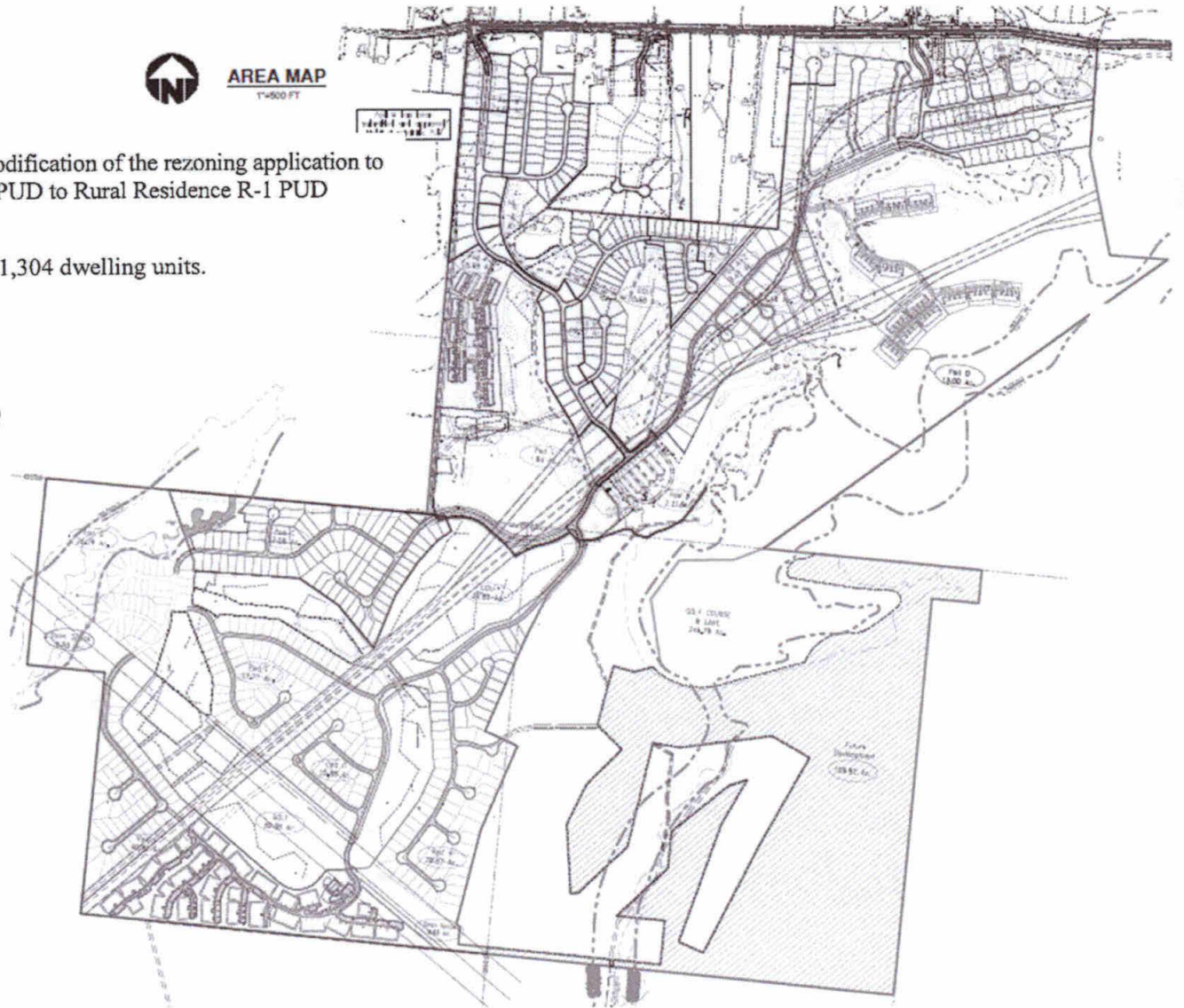
1. The maximum number of units for PUD shall be 1,304 dwelling units.

➤ Density: **2.83 units/acre**

➤ Proposed Units: **1,353**

➤ Allowed Units: **1,383**

- Shaker Run PUD 1: 1,304 units
- Shaker Run PUD 2: 79 units



Shaker Run

NOW THEREFORE BE IT RESOLVED, to approve a modification of the rezoning application to rezone approximately 13 acres from Rural Residence R-1 PUD to Rural Residence R-1 PUD subject to the following conditions:

1. The maximum number of units for PUD shall be 1,304 dwelling units.
2. Pod Q (Lakeside Condominiums) shall not exceed 104 units, 13 buildings, 13 acres.
3. The total open space area (including Golf Course) shall be no less than 421 acres.
4. One public road connection shall be stubbed to the property line of parcel number 08-31-300-008, and two public roads shall be stubbed to parcel number 12-29-100-002. One of the road connections to parcel number 12-29-100-002 shall be provided on the west property boundary of the Shaker Run PUD; the second road connection to parcel number 12-29-100-002 shall be made to the southern property boundary of the Shaker Run PUD. The general locations of all three road connections are illustrated in Exhibit A. The exact location of all three road stubs shall be determined at the time of PUD Stage 2 Site Plan and Preliminary Plan.

BOARD OF COUNTY COMMISSIONERS
WARREN COUNTY, OHIO

Resolution

Number 16-1109

Adopted Date July 19, 2016

APPROVE MODIFICATION OF THE REZONING APPLICATION OF SHAKER RUN GOLF COURSE (CASE #2016-02), TO REZONE APPROXIMATELY 13 ACRES FROM R-1 PUD TO R-1 PUD IN TURTLECREEK TOWNSHIP

WHEREAS, this Board met the 12th day of July 2016, and again this 19th day of July 2016, in the Commissioners' Meeting Room to consider the rezoning application of Shaker Run Golf Course, owner of record (Case #2016-02) to rezone approximately 15 acres (Parcel Numbers 08-25-400-008) located at 1320 Golf Course Drive in Turtlecreek Township from R-1 PUD to R-1 PUD to approve an increase in density; and

WHEREAS, the applicant requested a modification to the rezoning application to reduce acreage from approximately 15 acres to approximately 13 acres and also reduce the number of dwelling units requested from an increase of an additional 120 units to 104 units; and

WHEREAS, this Board has considered the recommendation of the Regional Planning Commission Executive Committee and the decision of the Rural Zoning Commission and all those present to speak relative to this rezoning application; and

NOW THEREFORE BE IT RESOLVED, to approve a modification of the rezoning application to rezone approximately 13 acres from Rural Residence R-1 PUD to Rural Residence R-1 PUD subject to the following conditions:

1. The maximum number of units for PUD shall be 1,304 dwelling units.
2. Pod Q (Lakeside Condominiums) shall not exceed 104 units, 13 buildings, 13 acres.
3. The total open space area (including Golf Course) shall be no less than 421 acres.
4. One public road connection shall be stubbed to the property line of parcel number 08-31-300-008, and two public roads shall be stubbed to parcel number 12-29-100-002. One of the road connections to parcel number 12-29-100-002 shall be provided on the west property boundary of the Shaker Run PUD; the second road connection to parcel number 12-29-100-002 shall be made to the southern property boundary of the Shaker Run PUD. The general locations of all three road connections are illustrated in Exhibit A. The exact location of all three road stubs shall be determined at the time of PUD Stage 2 Site Plan and Preliminary Plan.
5. Any standards found in the Warren County Rural Zoning Code adopted July 31, 1973 that are not modified, varied or addressed by this PUD document shall apply to the PUD site.
6. A storm water Management Plan shall be submitted and approved by the WCEO prior to the PUD Stage 3. The Ohio Environmental Protection Agency may require a National Pollution Discharge Elimination Systems permit for storm water drainage.

Exhibit A: Areas where a road stub to an adjacent property is required. Parcel identification numbers are current as of July 2016. The exact location of the road connections to adjacent properties may be determined at Stage 2 Site Plan and Preliminary [Subdivision] Plan.

General Location for road stub to PID 08-31-300-008

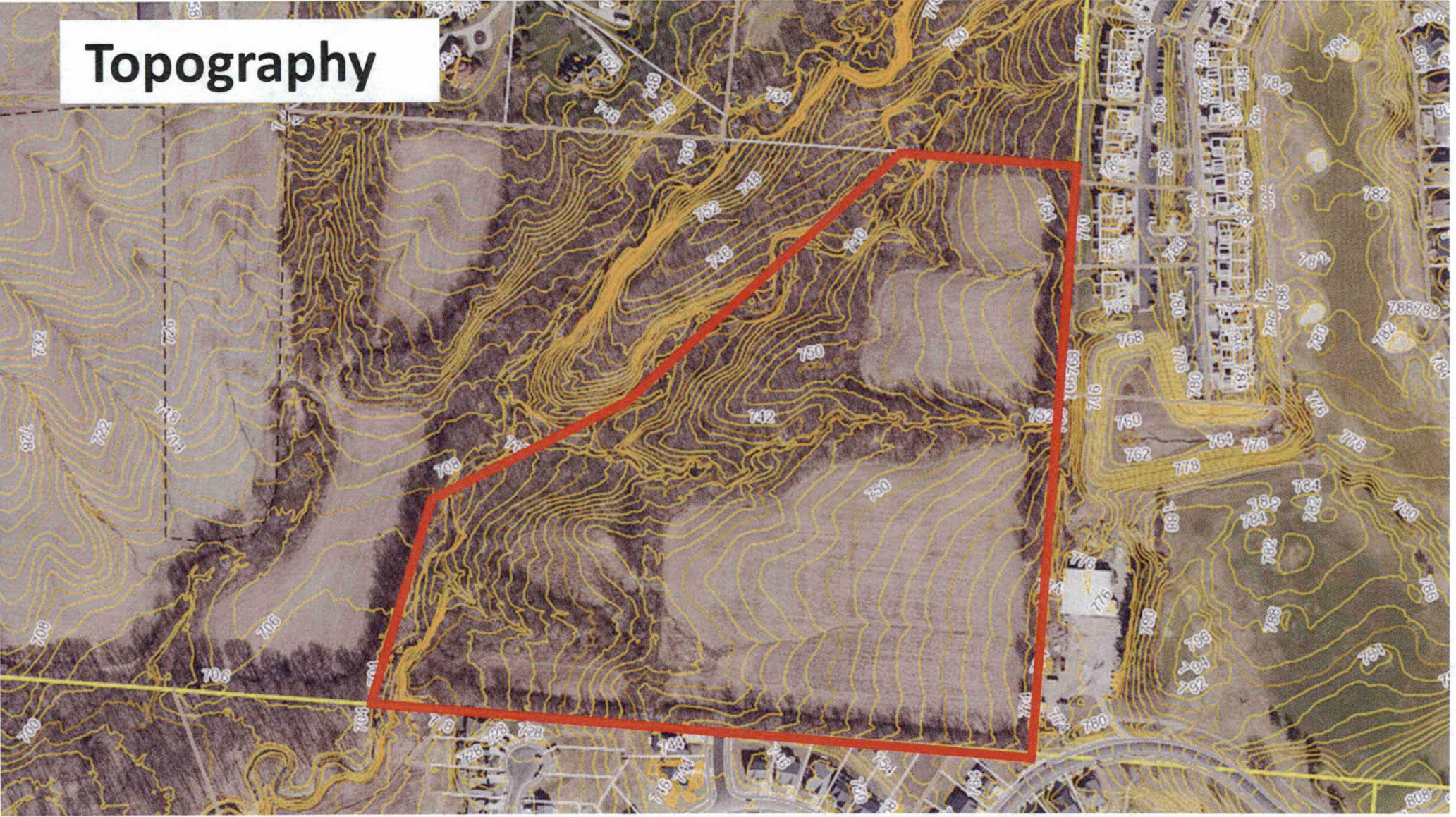
General Location for road stub to PID 12-29-100-002 (to the west)

General Location for road stub to PID 12-29-100-002 (to the south)

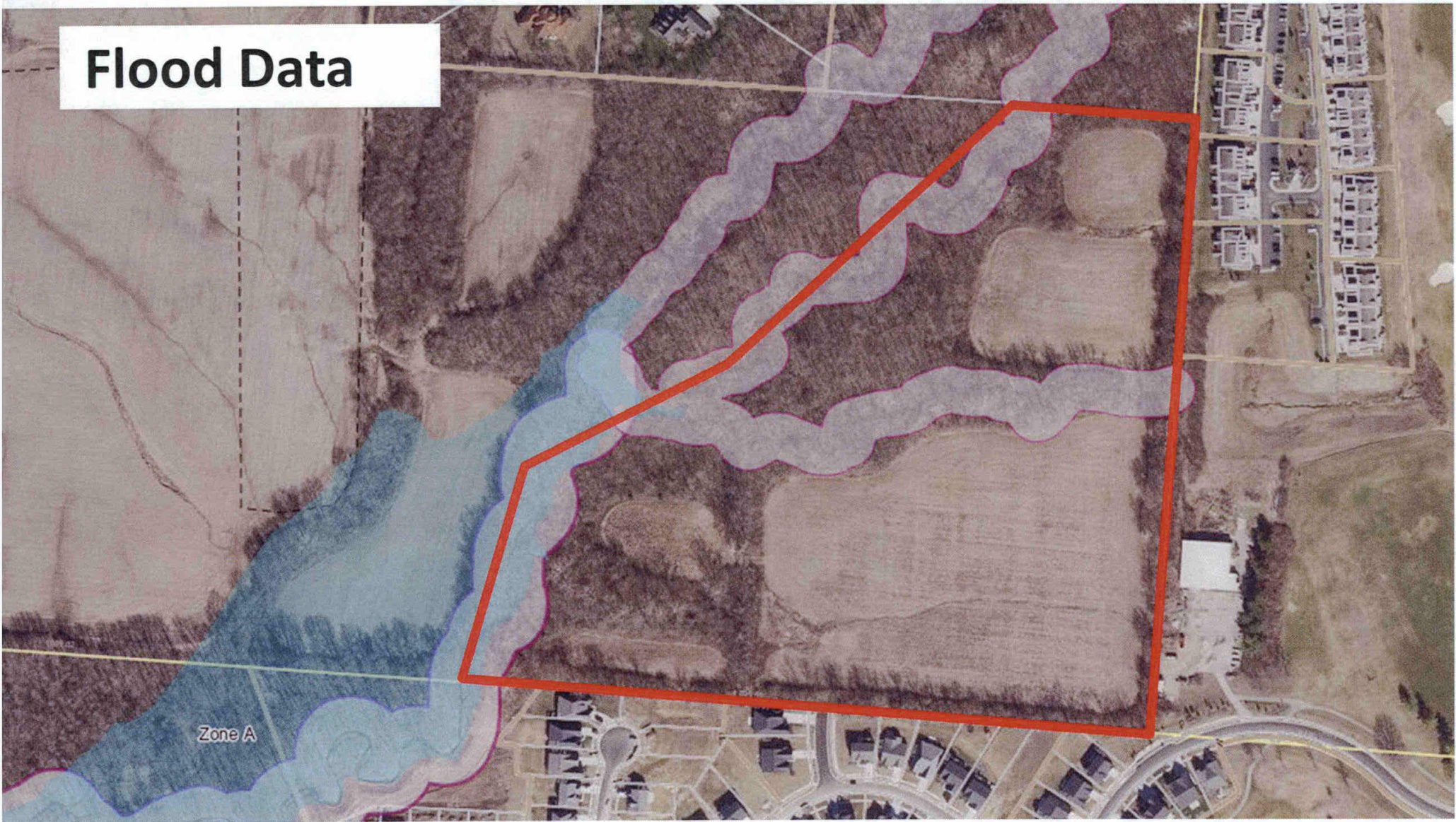
Shaker Run – Street Stubs

1 INCH = 660 FEET
1 inch = 660 feet

Topography

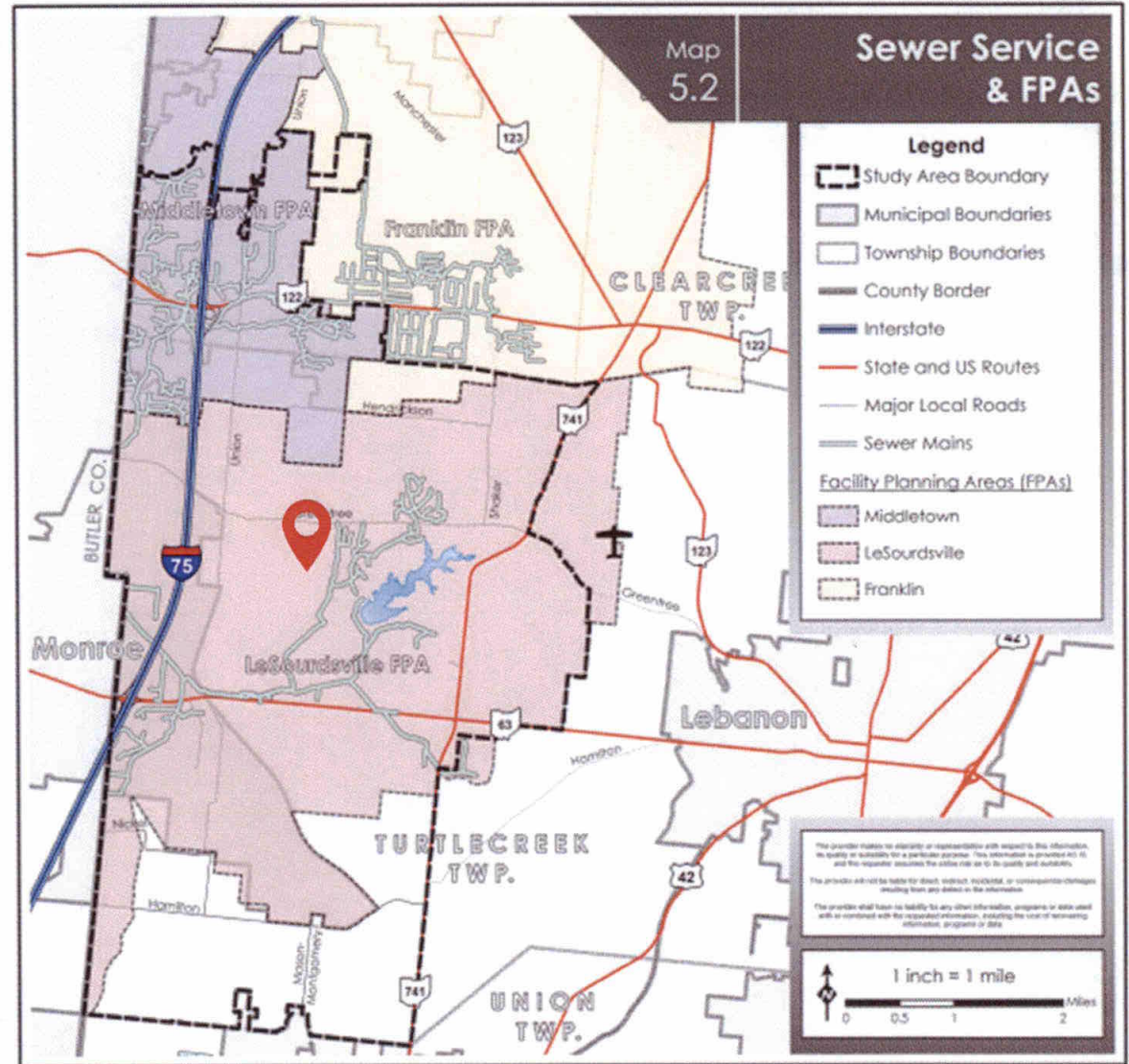


Flood Data



Sewer Service & FPA

- Butler County Sewer Service.
- LeSourdsville FPA.



Distance From Turtlecreek TWP Fire Department

